



مجلس إدارة جامعة القدس

م. ق. القدس، صندوق القدس، رام الله، فلسطين	القرار رقم 401-ع/401/2021/355
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19-3 - **ወጪ ለገንዘብ ለማግኘት ለሚያስፈልገው ገንዘብ ለማግኘት ይገባል።** (ገንዘብ) 3 ንድፍ ለገንዘብ ለማግኘት ይገባል።

19-4 - **ወጪ ለገንዘብ ለማግኘት ለሚያስፈልገው ገንዘብ ለማግኘት ይገባል።** (ገንዘብ) 03 ንድፍ ለገንዘብ ለማግኘት ይገባል።

19-5 - **ወጪ ለገንዘብ ለማግኘት ለሚያስፈልገው ገንዘብ ለማግኘት ይገባል።** (ገንዘብ) 03 ንድፍ ለገንዘብ ለማግኘት ይገባል።

19-6 - **ወጪ ለገንዘብ ለማግኘት ለሚያስፈልገው ገንዘብ ለማግኘት ይገባል።** (ገንዘብ) 03 ንድፍ ለገንዘብ ለማግኘት ይገባል።

19-7 - **ወጪ ለገንዘብ ለማግኘት ለሚያስፈልገው ገንዘብ ለማግኘት ይገባል።** (ገንዘብ) 03 ንድፍ ለገንዘብ ለማግኘት ይገባል።

20 - **ገንዘብ ለማግኘት ለሚያስፈልገው ገንዘብ ለማግኘት ይገባል።**

20-1 ወጪ ለገንዘብ ለማግኘት ለሚያስፈልገው ገንዘብ ለማግኘት ይገባል።

20-1.1 - **ወጪ ለገንዘብ ለማግኘት ለሚያስፈልገው ገንዘብ ለማግኘት ይገባል።** (ገንዘብ) 03 ንድፍ ለገንዘብ ለማግኘት ይገባል።

20-2 ወጪ ለገንዘብ ለማግኘት ለሚያስፈልገው ገንዘብ ለማግኘት ይገባል።

20-2.1 - **ወጪ ለገንዘብ ለማግኘት ለሚያስፈልገው ገንዘብ ለማግኘት ይገባል።** (ገንዘብ) 03 ንድፍ ለገንዘብ ለማግኘት ይገባል።

20-2.2 - **ወጪ ለገንዘብ ለማግኘት ለሚያስፈልገው ገንዘብ ለማግኘት ይገባል።** (ገንዘብ) 07 ንድፍ ለገንዘብ ለማግኘት ይገባል።

20.2.3- פרויקטים המיועדים להיות חלק מהתוכנית הלאומית למגורים, ו
המיועדים להיבנות על ידי גופים מקומיים, ממומנים על ידי הממשלה (התכנית
הלאומית למגורים, תכנית המגורים הלאומית, תכנית המגורים הלאומית החדשה).
תכנית המגורים הלאומית החדשה.

20.3. גובה מיסים ומס

20.3.1- מטרת המס היא להגדיל את הכנסות הממשלה (התכנית הלאומית למגורים) והתכנית הלאומית למגורים החדשה. 10.67
היא המבנית לפרויקט המס הלאומי למגורים.

20.4. מיסים ומס

20.4.1- המס הלאומי למגורים החדשה 10.68 והמס הלאומי למגורים החדשה הלאומית.

21. מיסים ומס

21.1- המס הלאומי למגורים החדשה הלאומית, המיועדים להיות חלק מהתוכנית הלאומית למגורים, והמס הלאומי למגורים החדשה הלאומית.
המס הלאומי למגורים החדשה הלאומית 10.71 והמס הלאומי למגורים החדשה הלאומית.

21.2- המס הלאומי למגורים החדשה הלאומית, המיועדים להיות חלק מהתוכנית הלאומית למגורים, והמס הלאומי למגורים החדשה הלאומית.
המס הלאומי למגורים החדשה הלאומית 15% (התכנית הלאומית למגורים) והמס הלאומי למגורים החדשה הלאומית.

22. המס הלאומי למגורים החדשה

22.1- המס הלאומי למגורים החדשה הלאומית, המיועדים להיות חלק מהתוכנית הלאומית למגורים, והמס הלאומי למגורים החדשה הלאומית.
המס הלאומי למגורים החדשה הלאומית והמס הלאומי למגורים החדשה הלאומית.

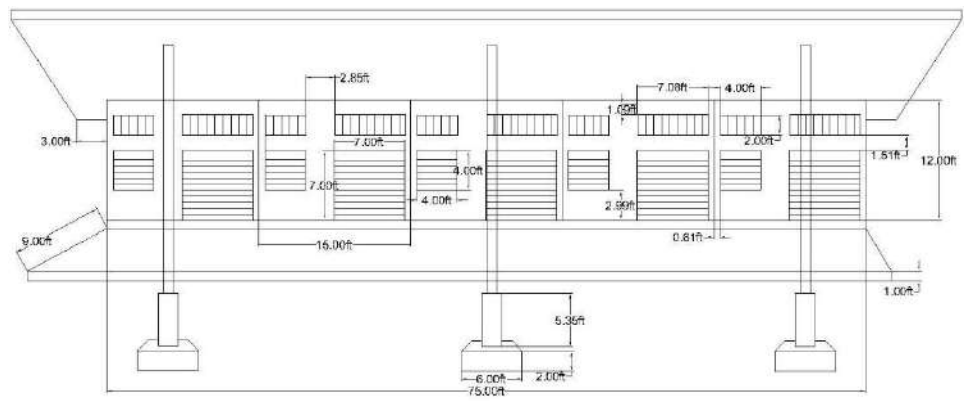
23. דרישות מיסים ומס

23.1- המס הלאומי למגורים החדשה הלאומית, המיועדים להיות חלק מהתוכנית הלאומית למגורים, והמס הלאומי למגורים החדשה הלאומית.
המס הלאומי למגורים החדשה הלאומית והמס הלאומי למגורים החדשה הלאומית.

23.2- המס הלאומי למגורים החדשה הלאומית, המיועדים להיות חלק מהתוכנית הלאומית למגורים, והמס הלאומי למגורים החדשה הלאומית.
המס הלאומי למגורים החדשה הלאומית והמס הלאומי למגורים החדשה הלאומית.

23.3- המס הלאומי למגורים החדשה הלאומית, המיועדים להיות חלק מהתוכנית הלאומית למגורים, והמס הלאומי למגורים החדשה הלאומית.
המס הלאומי למגורים החדשה הלאומית והמס הלאומי למגורים החדשה הלאומית.

L.FONADHOO LOCAL MARKET



Design of New Local Market Units

L.Fonadhoo Local Market

DESIGN OF NEW LOCAL MARKET UNITS

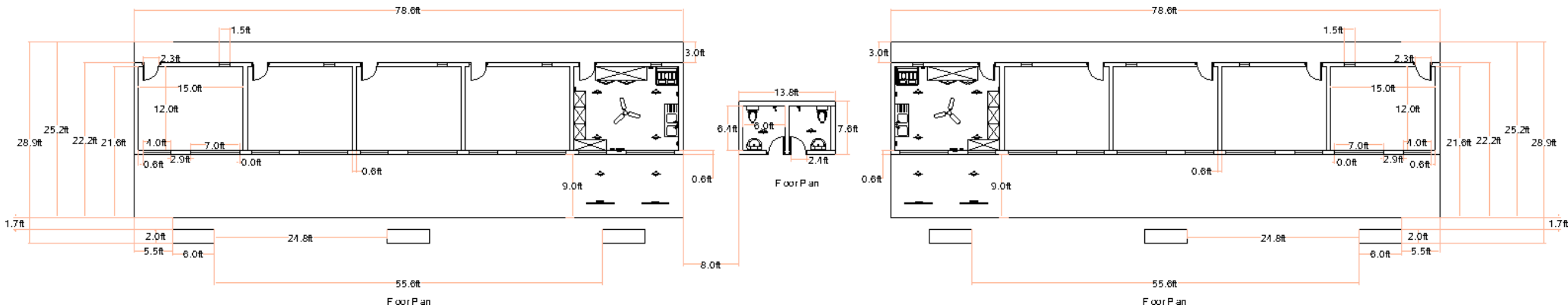
INTRODUCTION

This document includes landscape design, buildings and required dimensions of new local market. Market area consists of 2 building block, each with 5 units, toilet for both gender along the market area.

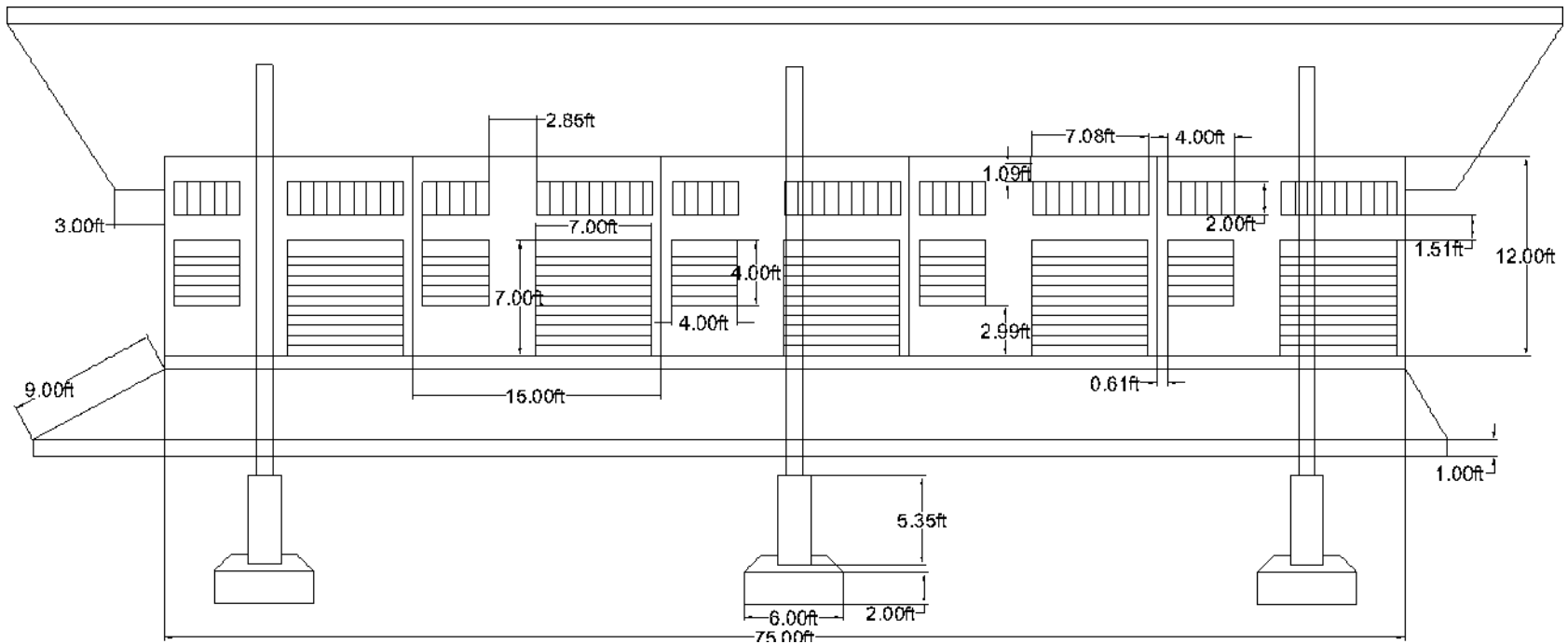
Major Facilities Available

- **Unit Size 15x12ft with unit front 15x9ft**
- **Aluminum roller shutter door 7x6.5ft for each unit entrance**
- **Aluminum roller shutter door 4x4ft for the unit counter**
- **Aluminum door for rear side of each unit**
- **Exhaust for units**
- **Electricity**
- **Common toilet for both gents**

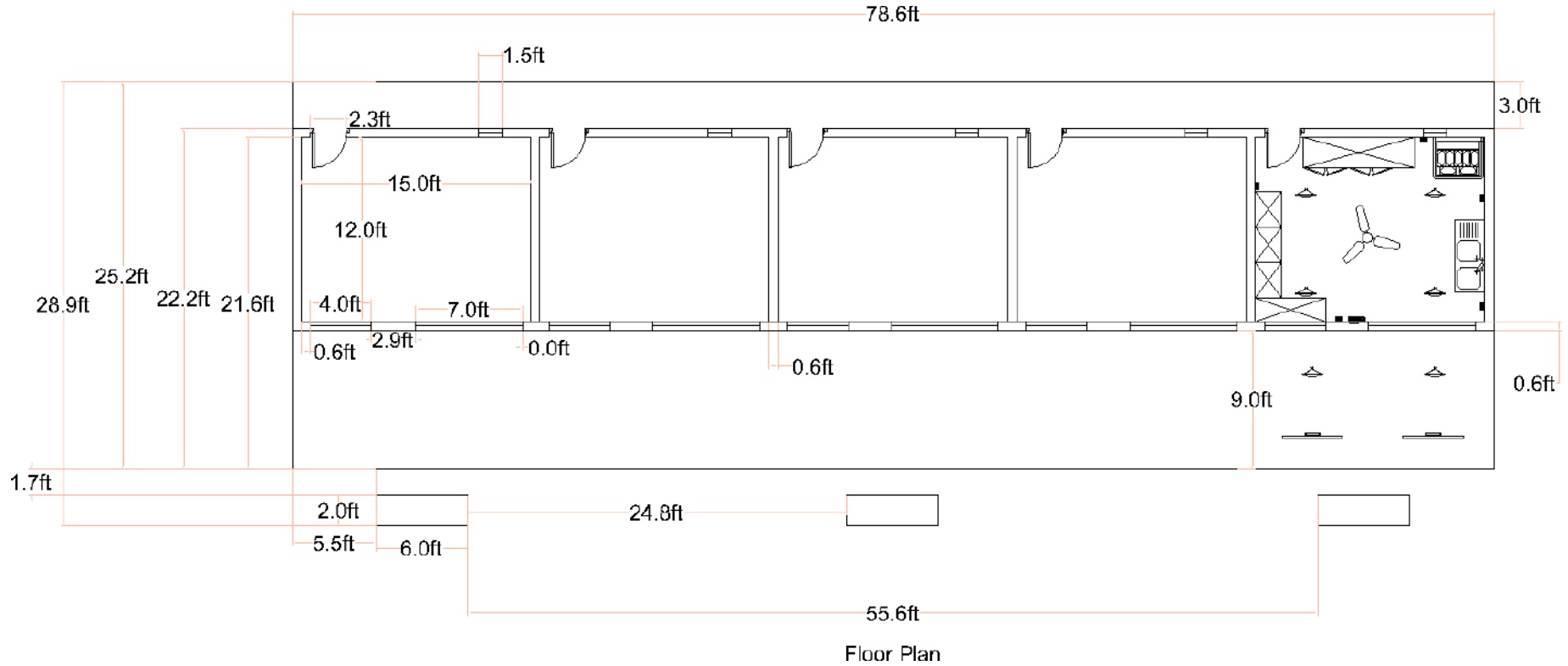
Building Units with Dimension



Single Block with Dimensions



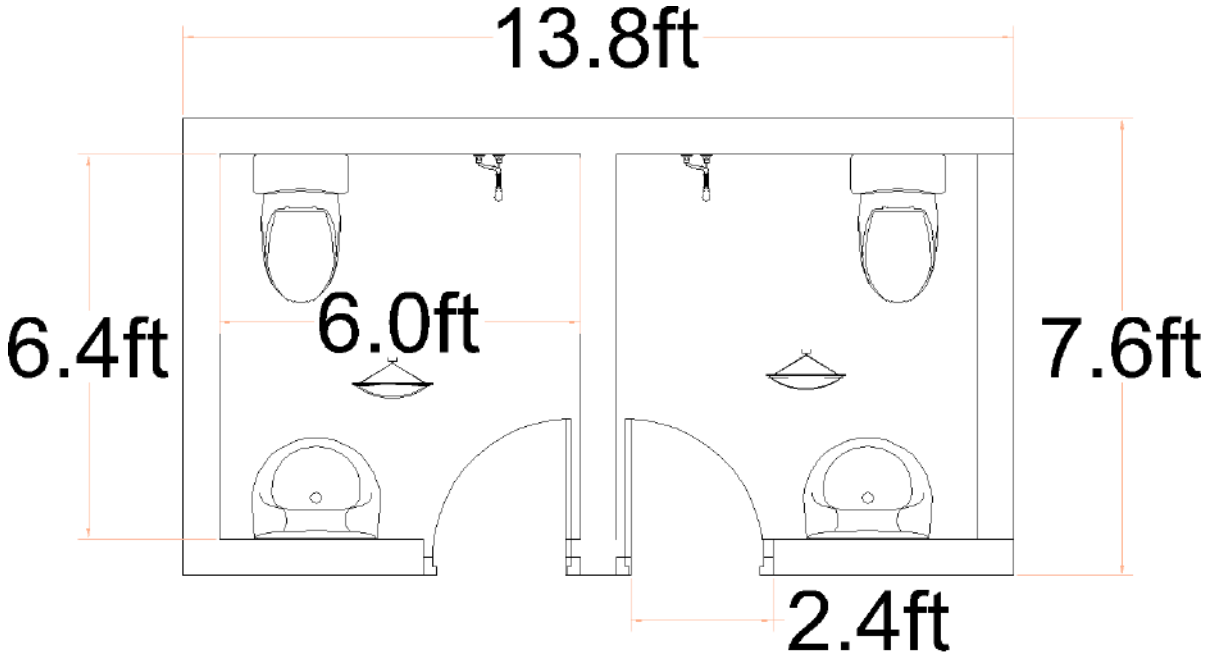
Market Building Block Floor Plan



Floor Plan

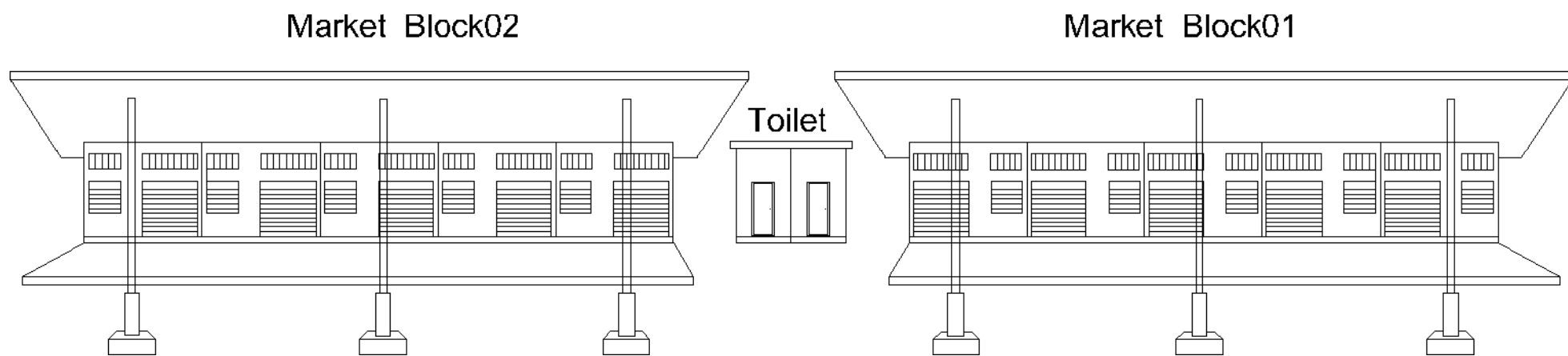
- A separate DB and Electricity Meter for each unit
- 01 Ceiling fan, a rear exhaust for each unit
- 04 Ceiling light bulb inside each unit, 02 ceiling light bulb and 02 ceiling light lamps for each unit
- Double sink with faucet for each unit
- 03 Socket 15A and 02 Double Socket 13A Socket for each unit
- Electric wiring, water and sewer pipe line installation

Toilet Block Floor Plan



Floor Plan

Front View



Secretariat of Haddhunmathi Fonadhoo Council

Hadhunmathi Fonadhoo

Rep of Maldives

PROJECT: CONSATRUCTION OF LOCAL MARKET

CLIENT: SECRETARIAT OF HADDHUNMATHI FONADHOO

LOCATION: L.FONADHOO

DATE:

BILLS OF QUANTITIES

ITEM	DESCRIPTION	UNIT	QTY	RATE	TOTAL
	BILL No: 01 PRELIMINRIES				
1.1	GENERAL NOTES				
(1)	Abbreviations LS - Lump Sum m - Linere Metre No - Numbers m ³ - cubic metre m ² - square metre t - tonnes incl - including / Inclusive mm - millimetre SS - Stainless Steel GI - Galvanised Iron RC- Reinforced Concrete NGL - Natural Ground Level FFL - Finished Floor Level				
1.2	SITE MANAGEMENT COSTS				
	Allow for all on and off site management costs including costs of foreman and assistant, temporary servces, telephone, fax, hoardings, fences and similar items	Item	1.00		0.00
1.3	SITE ESTABLISHMENTS				
	Allow for mobilization and Demobilization	Item	1.00		0.00
1.4	SEVICES AND FACILITIES				
	Provision and maintenance of services and facilities such as water, power, lighting and fuel for project	Item	1.00		0.00
1.5	SIGN BOARD				
	Allow for project baord incl. the safety sign boards	Item	1.00		0.00
1.6	SAFETY ON SITE				
	Provide and maintain adequate safety measure on site for all workers and all authorized visitors to site.	Item	1.00		0.00
	BILL No: 01 PRELIMINARIES				
	TOTAL OF BILL No:01 - Carried over to summary				0.00

3.2	LEAN CONCRETE				
	Market Units				
(1)	50mm thick lean concrete to bottom of Foundation	m ³	1.38		0.00
	Toilet Block				
	50mm thick lean concrete to bottom of Foundation	m ³	0.14		0.00
3.3	DAMP PROOF MEMBRANE				
	Market Units				
(1)	Polyethene sheet over lean concrete	m ²	27.22		0.00
	Toilet Block				
	Polyethene sheet over lean concrete	m ²	2.85		
3.4	REINFORCED CONCRETE				
	Rate shall includes formworks and the reinforcement as per the drawings.				
	Market Units				
(1)	Foundation Beam	m ³	0.28		0.00
(2)	Column C1	m ³	5.56		0.00
(3)	Column C2	m ³	0.28		0.00
(4)	Roof Beam	m ³	5.56		0.00
	Toilet Block				
(1)	Foundation Beam	m ³	0.57		0.00
(2)	Column C1	m ³	0.48		0.00
(3)	Roof Beam	m ³	0.43		0.00
(4)	100thick RCC Slab	m ³	1.30		0.00
3.5	OTHER CONCRETE WORKS				
(1)	Lintel beams above shutter doors level through out the wall	m ³	1.42		0.00
(2)	Lintel beams above doors	Item	10.00		0.00
(3)	Sill Beams below window shutters	Item	10.00		0.00
3.6	WATER PROOFING				
	(a) Rates to include for dressings around and sealing all penetrations.				
(1)	Application of approves bituminous water proofing chemical on all concrete and masonry surfaces below lowest finished floor level in accordance with drawings specs and manufacturer instructions	Item	2.00		0.00

4.4	FLOORING				
	Market Units				
4.4.1	65mm Thick cement sand screed with 1:5 mortar mix with smooth finished	m ²	362.26		0.00
	Toilet Block				
	35mm Thick cement sand screed with 1:5 mortar mix with smooth finished	m ²	9.66		0.00
BILL No: 04 - MASONRY AND PLASTERING					
TOTAL OF BILL No:04 - Carried over to summary					0.00
BILL No: 05					
METAL WORKS AND RAILING					
5.1	GENERAL				
	(a) Rates shall include for all fabrication work, welding, marking, drilling for bolts including those securing timbers, steel plates, bolts, nuts and any type of washer, rivetted work, counter sinking and tapping for bolts or machine screws				
	(b) Rates shall include for all painting and finishing.				
	(c) Rates shall include for fabrication and erection of temporary supports				
	(d) The contractor shall submit sample of SS and GI Sections and all other accessories for approval of clients/consultant before procurement.				
	(e) The SS grade used shall be 304				
5.2	GI Pipe Column				
(1)	4" GI pipe with 6mm thick Flange	Nos	3.00		0.00
5.2.2	2550mm High Grill as shown in drawings and specifications. (7ft)	Nos	10.00		0.00
(2)	2550mm High Grill as shown in drawings and specifications. (4ft)	m	10.00		0.00

BILL No: 05- METAL WORKS AND RAILING				
TOTAL OF BILL No:05 - Carried over to summary				0.00
BILL No: 06				
<u>CEILING WORKS</u>				
6.1 GENERAL				
Rates shall include for all fixing, cutting trimming nails screws and other fixings according to manufacturers instructions				
Rates shall include for timber priming and all putty works as required				
Rates shall include for all labour in framing, notching and fitting around projections, pipes, light fixtures, hatches, grilles, and similar complete with cleats pacjerts wedges and timber bedding etc. similar and all nails and sceww				
The contractor shall submit sample of all ceiling boards, all sections for framing and all other accessories for approval of client/consultant				
6.2 SUSPENED CEILING				
(1)	6mm thick gypson board ceiling with timber framing in internal areas	m ²	180.44	0.00
(2)	6mm thick cement board ceiling with timber framing in external areas	m ²	179.92	0.00
BILL No: 06 - CEILIGN WORKS				
TOTAL OF BILL No:06 - Carried over to summary				0.00
BILL No: 07				
<u>DOORS AND WINDOWS</u>				
7.1 GENERAL				
Rates shall include for locks				
Rates shall include for Door frames				
Rates shall include for painting timber doors				
All doors to be in accordance with drawings and specifications				
All aluminum doors and windows shall have 80micron white powder coated frames unless otherwise specified				
The contractor shall submit all sections and samples for approval of client/consultant before procurement				
Market Units				
7.2 DOOR UNITS				
(1)	Aluminum Door D1	Nos	10.00	0.00
(2)	Aluminum Roller Shutter Door RS1	Nos	10.00	0.00
(3)	Aluminum Roller Shutter Door RS2	Nos	10.00	0.00

	Toilet Block				
(1)	Aluminium Door D2	Nos	2.00		0.00
BILL No: 07 - DOORS AND WINDOWS					
TOTAL OF BILL No:07 - Carried over to summary					0.00
	BILL No: 08 FINISHES				
8.1	GENERAL				
	Rates for tiling shall include for: bedding, grouting, pointing, finishing and any other similar works to ensure the required finish.				
8.2	FLOOR FINISHES				
	Market Units				
8.2.1	300mm x 300mm Polishes Homogeneous tiles on floor				
(1)	Indoor Floor Tiles	m ²	404.00		0.00
(2)	Outdoor Floor Tiles (non skid)	m ²	356.58		0.00
	Toilet Block				
	300mm x 300mm Polishes Homogeneous tiles on floor	m ²	3.80		0.00
	300mm x 600mm Polishes Homogeneous tiles on walls	m ²	28.08		0.00
8.3	WALL FINISHES				
8.3.1	300mm x 600mm Homogeneous tiles on walls				
(1)	Sink area	m ²	7.20		0.00
BILL No: 080 - FINISHES					
TOTAL OF BILL No: 08 - Carried over to summary					0.00
	BILL No: 09 ELECTRICAL INSTALLATIONS				
9.1	GENERAL				
	Design, Provide and install electrical network for entire building complete in accordance to the standards set by the local governing body.				

	Rates shall include for: screws, nails, bolts, nuts, standard cable fixing or supporting clips, brackets, straps, riverts, plugs and all incidental accessories			
	Rates for work in trench shall include for: excavation, maintaining faces of excavations, backfilling, compaction, appropriate cable covers, warning tape and disposal of surplus spoil.			
	Rates for electrical isolators, conduits, fittings, equipmet and similar items shall include for: all fixings to various building surfaces.			
	Light end and switch end of wiring together measured as one point.			
	A point wiring for power points is mesured as one pont for each socket outlet; other end is not included in the quantity.			
	Rates shall include for supply and complete installation.			
	All switches, breakers must be ABB, Clipsal or equvelant.			
	Single phase power supply.			
	9.2 ELECTRICAL BOARDS			
	Complete installation, including for all conections earthings, painting, testing and smilar of;			
(1)	Connections from mains including meteres, cut-opff fuse and other accessories to be located in each Unit,	Nos	10.00	0.00
(2)	Distribution baords	Nos	10.00	0.00
	9.3 ELECTRICAL WIRING			
	Market Units			
	Electrical wiring with copper conductor cable in conduits in walls and concrete as per government regulations			
(1)	Wiring to fans and lights	Points	80.00	0.00
(2)	wiring to power points	Points	40.00	0.00
(3)	wiring to DBs	Points	10.00	0.00
(4)	Wiring to AC points	Points	10.00	0.00
	Toilet Block			
	Wiring to lights	Points	2.00	0.00
	9.4 LIGHTING, POWER POINTS and FANS			
	Market Units			
	Supply and fixing of			
	Fixing of the folwing items as shown in the drawings. The quantities given below are provisional			
	Rates shall inluded Switch Boards			
	Lights Sample must be approved by client/consultant			
(1)	1 Way Switch (1 Gang)	Nos	10.00	0.00
(2)	1 Way Switch (3 Gang)	Nos	10.00	0.00
(3)	15A Socket outlet for Ac units (1 Gang)	Nos	10.00	0.00
(4)	15A Socket outlet (1 Gang)	Nos	20.00	0.00
(5)	13A Socket outlet (2 Gang)	Nos	20.00	0.00
(6)	Ceiling mount lights	Nos	16.00	0.00
(7)	Ceiling mount out door lights	Nos	12.00	0.00
(8)	Exust	Nos	10.00	0.00

	Toilet Block							
(1)	Ceiling mount Light	Nos	2.00					0.00
(2)	1 Way Switch (1 Gang)	Nos	2.00					0.00
BILL No: 09 ELECTRICAL INSTALLATIONS								
TOTAL OF BILL No:09 - Carried over to summary								0.00
	BILL No: 10							
	PAINTING							
	GENERAL							
	WALL FINISHES							
8.3.3	Emulsion paint finish on cement plastered walls and concrete column, sides and soffits of beam and soffits of slab surfaces as specified on interior walls							
	<u>Market Units</u>							
(1)	Interior walls (Interior paint)	m ²	476.08					0.00
	Interior walls (wall sealer)	m ²	476.08					0.00
(2)	Exterior walls (exterior paint)	m ²	290.00					0.00
	Exterior walls (Exterior wall sealer)	m ²	290.00					0.00
	Toilet Block							
(1)	walls (exterior paint)	m ²	75.48					0.00
(2)	walls (exterior wall sealer)	m ²	75.48					0.00
8.4	CEILING FINISHES							
	Rates shall include for putty and completion of all other necessary works							
(1)	Exterior ceiling (3mm Cement board)	m ²	180.44					0.00
(2)	Interior Ceiling (9mm Gypsum board)	m ²	179.92					0.00
	Toilet Block							
(1)	Slab (exterior paint)	m ²	11.75					0.00
(2)	Slab (wall sealer)	m ²	11.75					0.00
BILL No: 10 FIRE FIGHTING SYSTEM								
TOTAL OF BILL No:10 - Carried over to summary								0.00
	BILL No: 11							
	HYDRAULICS AND DRAINAGE							
11.1	HYDRAULICS							
	<u>Preamble Notes</u>							
	Rates shall include for excavation, maintaining faces of drain pipe trenches and pits, backfilling, disposal of surplus soil, bends, junctions, reducers, expansion joints and all joints and other incidental materials.							
	All pipework shall be PVC							
11.1.1	Internal Plumbing - Cold Water							
	Internal plumbing to all toilets and sinks incl. supply and laying of pipes							
(1)	Market Units	Nos	10.00					0.00
(2)	Toilets	Nos	2.00					0.00

	External Plumbing				
(1)	Connection to main sewer line	Item	2.00		0.00
(2)	Connection to FENAKA water meter	Nos	10.00		0.00
(3)	All pipe works underr screed to be laid for waste water, sewage, freshwater and well water connection	Item	10.00		0.00
(4)	Waste water and sewage connection from all toilets incl. necessary catch pits and manholes as necessary. Rates shall include for supply and laying of pipes including clean suts as necessary	Item	2.00		0.00
(5)	Waste water and sewage connection from all Sinks incl. necessary catch pits and manholes as necessary. Rates shall include for supply and laying of pipes including clean suts as necessary	Item	10.00		0.00
	Sanitary Fixtures & Accessories				
	Sanitary Fixtures complete incl. brackets, stop valves, fittings etc.. All Sanitary fittings shall ve given in prodcuts manual				
(1)	Double Sink	Nos	10.00		0.00
(2)	Sink Tap	Nos	10.00		0.00
(3)	Water Closet Complete	Nos	2.00		0.00
(4)	Tap	Nos	2.00		0.00
(5)	Muslim Shower	Nos	2.00		0.00
(6)	Floor Drain	Nos	2.00		0.00
11.2	DRAINAGE				
11.2.1	Preamble Notes				
	Rates shall include for excavation, maintaining faces of drain pipe trenches and pits, backfilling, disposal of surplus soil, bends, junctions, reducers, expansion joints and all joints and othe incidental materials.				
	All pipework shall be PVC				
11.2.2	Rainwater Discharge pipe				
(1)	100mm Dia. Rainwater discharge pipe from terrace, rates shall include for supply and installation og piping from terrace through ducting and connection to exterior drain system and any associated civil works	Item	3.00		0.00
11.2.3	Inspection Chamber				
	(a) Installation of inspection chamber for sewafe, waste water and drainage				
(1)	Installation of MWSC inspection chamber	Nos	11.00		0.00
	BILL No: 11 HYDRAULICS AND DRAINAGE				
	TOTAL OF BILL No:11 - Carried over to summary				0.00